

**PLEASE CROSS-INDEX WITH
MASTER DEED RECORDED ON JUNE 8,
2004 IN BOOK R497, PAGE 564 IN THE RMC
OFFICE FOR CHARLESTON COUNTY,
SOUTH CAROLINA**

FIRST AMENDMENT TO MASTER DEED

This **FIRST AMENDMENT TO MASTER DEED** (this "Amendment"), effective as of May 28, 2004, is adopted by **PARKDALE HOLDINGS, LLC** (the "Declarant"), with respect to the horizontal property regime known as **CAROLINA COVE HORIZONTAL PROPERTY REGIME** (the "Regime") established by Master Deed recorded on June 8, 2004 in Book R497, Page 564 in the RMC Office for Charleston County, South Carolina (the "Master Deed"). The Bylaws attached to the Master Deed are referred to herein as the "Bylaws."

STATEMENT OF PURPOSE:

Exhibit B to the Master Deed contains typographical errors. The cover sheet and sheets A-1 through A-10 of Exhibit B to the Master Deed (i.e. all sheets other than the survey) incorrectly refer to what should have been called the "Ashley" Units as the "Cooper" Units and incorrectly refer to what should have been called the "Cooper" Units as the "Ashley" Units. The Declarant is exercising its right pursuant to Article VIII of the Master Deed to amend the Master Deed to correct this typographical error.

AMENDMENT:

1. Exhibit B of the Master Deed is hereby amended by replacing the cover page and pages A-1 through A-10 thereto (i.e. all pages other than the survey) with the cover page and pages A-1 through A-10 attached hereto as Exhibit B and incorporated herein by reference.

IN WITNESS WHEREOF, the Declarant has caused these presents to be executed as of the date first written above.

WITNESSES:

Jennifer Davis
Billy J.

DECLARANT:

NOTARY PUBLIC
STATE OF SOUTH CAROLINA
Office Box 25823
Charleston, SC 29413

PARKDALE HOLDINGS, LLC

By: [Signature]
Name: Michael Blender
Title: Manager

STATE OF Georgia
COUNTY OF Cobb

)
) ACKNOWLEDGEMENT
)

The foregoing instrument was acknowledged before me this 17th day of February, 2005, by Michael Blender, Manager of Parkdale Holdings, LLC, a South Carolina limited liability company, on behalf of the limited liability company.

Katherine M. Moody
Notary Public

My Commission Expires:

[SEAL]

DK J 526PG254

EXHIBIT "B"

CAROLINA COVE HORIZONTAL PROPERTY REGIME

PREPARED FOR PARKDALE HOLDINGS, LLC (OWNERS)

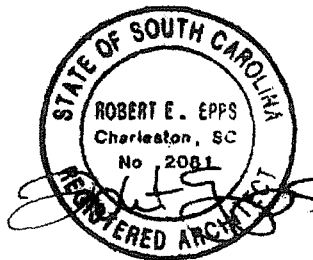
SCHEDULE OF SHEETS

- SITE SURVEY (PREPARED BY E. M. SEABROOK, JR. INC.)
- A-1 TYPICAL FLOOR PLAN & ELEVATIONS OF
CAROLINA COVE - THREE BEDROOM GARDEN UNITS
 - A-2 TYPICAL FLOOR PLAN & ELEVATIONS OF
COOPER - TWO BEDROOM TOWNHOUSE UNITS
 - A-3 TYPICAL FLOOR PLAN & ELEVATIONS OF
ASHLEY - THREE BEDROOM UNITS
 - A-4 DIMENSIONS CHART
 - A-5 PHOTOGRAPHS - BUILDINGS 1- 4
 - A-6 PHOTOGRAPHS - BUILDINGS 5, 6, 8, 9
 - A-7 PHOTOGRAPHS - BUILDINGS 10-13
 - A-8 PHOTOGRAPHS - BUILDINGS 14-17
 - A-9 PHOTOGRAPHS - BUILDINGS 18, 19
 - A-10 FLOOR PLAN, ELEVATIONS, PHOTOGRAPHS -
CLUBHOUSE / OFFICE

CAROLINA COVE
HORIZONTAL PROPERTY REGIME
415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

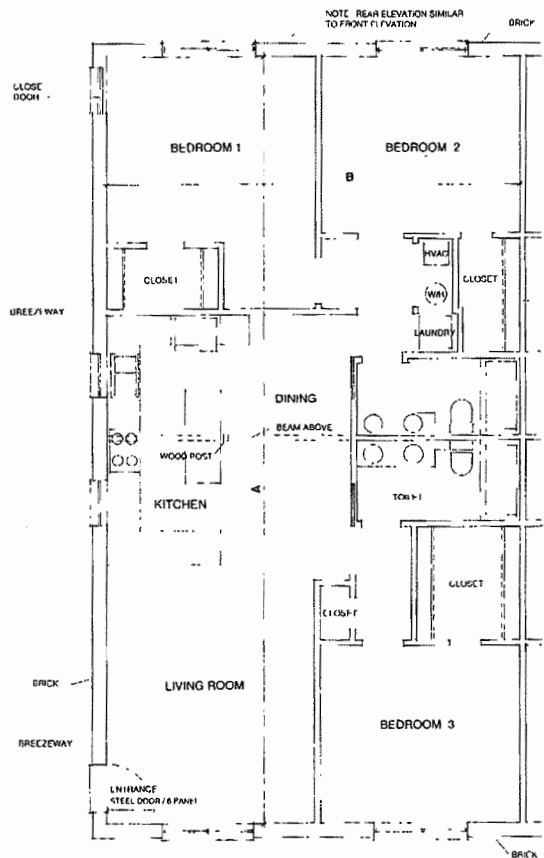
EPPS
EDWARDS
ARCHITECTS

1 PINCKNEY STREET
CHARLESTON SOUTH CAROLINA 29401



REVISION # 1 (REVISED JANUARY 3 2008)

RECORD COPY



CAROLINA COVE GARDEN UNIT
TYPICAL UNIT FLOOR PLAN

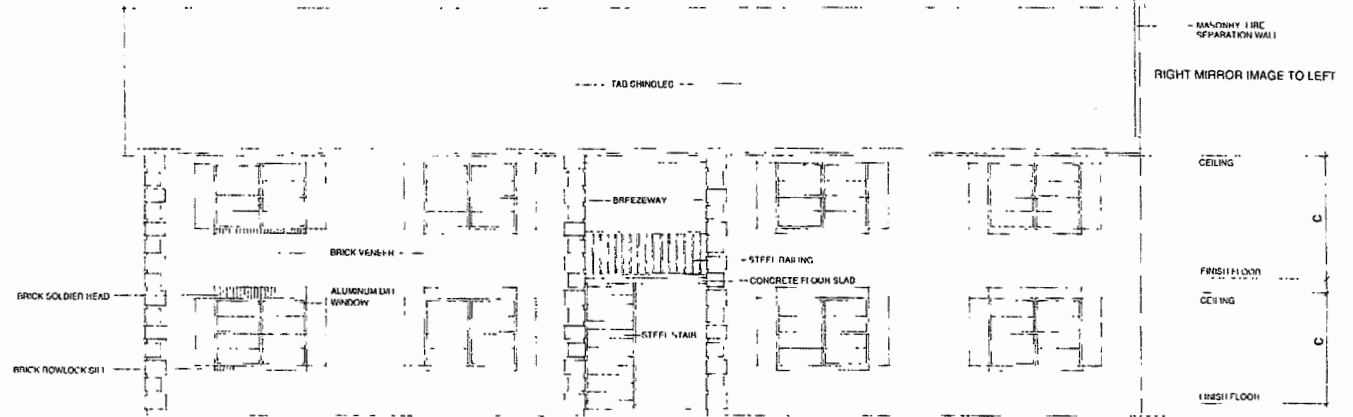
1/4" = 1'-0"

LEFT HAND UNIT
(RIGHT HAND UNIT MIRROR IMAGE)

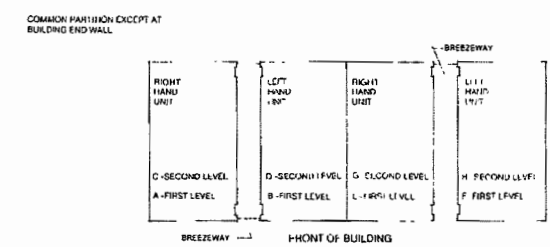
1.355 S.F. AVERAGE (INTERIOR OF EXTERIOR
WALLS AND COMMON WALLS)
(SEE GENERAL NOTES)



SCALE (FEET)

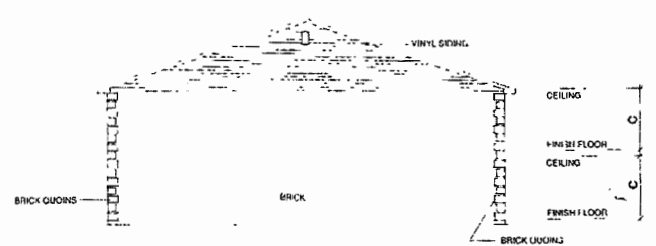


CAROLINA COVE BUILDING / FRONT ELEVATION
REAR ELEVATION SIMILAR
(BUILDINGS 2 & 19)



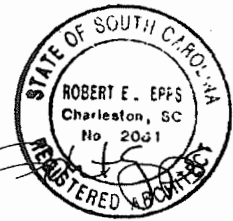
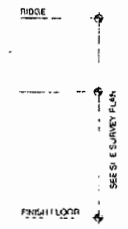
KEY PLAN / CAROLINA COVE BUILDINGS

NOTE: ALL CAROLINA COVE BUILDINGS CONTAIN 8 UNITS



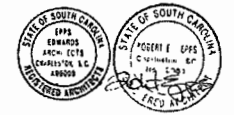
LEFT SIDE ELEVATION (RIGHT SIDE SIMILAR)

- GENERAL NOTES
1. SEE SHEET 4 FOR REFERENCE INTERIOR DIMENSIONS
CEILING HEIGHTS
 2. DIMENSIONS ARE MEASURED ALL OF 1/4" FIN WALLBOARD
TO FACE OF GYPSUM WALLBOARD
 3. FOR THE PURPOSE OF GRAPHIC CLARITY INTERIOR DOORS
ARE NOT INDICATED
 4. SEE SITE SURVEY PLAN FOR FINISH FLOOR MSL (MEAN SEA LEVEL
ELEVATIONS OF FINISH FLOOR AND ROOF HEIGHTS)



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE
INFORMATION AND BELIEF THE HORIZONTAL PROPERTY
REGIME INFORMATION SHOWN HEREIN IS ACCURATE AND THAT
THE BEST MEANS AND METHODS AVAILABLE WERE USED TO
OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH
CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

ROBERT E. EPFS / REGISTERED ARCHITECT
S.C. REGISTRATION NO. 2001



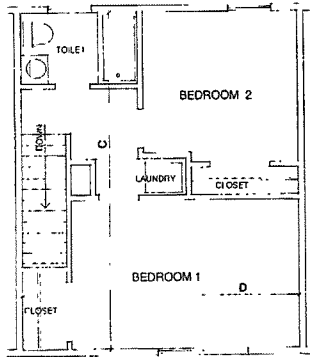
CAROLINA COVE
HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

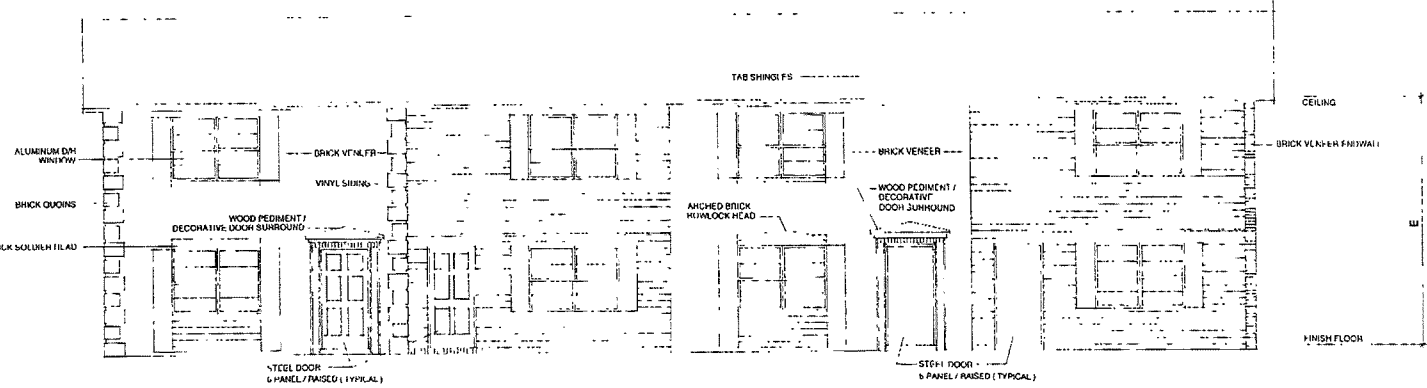
EPFS
EDWARDS
ARCHITECTS

1 PINEKNEY STREET
CHARLESTON SOUTH CAROLINA 29401

SHEET NO 1 OF 10 DATE MAY 4 2004



COOPER TOWNHOUSE
TYPICAL UNIT SECOND FLOOR PLAN



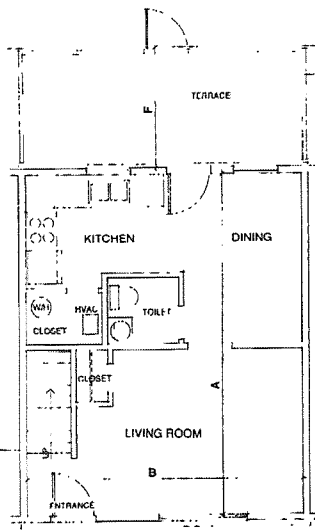
TYPICAL BRICK END UNIT TYPICAL SIDED UNIT TYPICAL BRICK UNIT TYPICAL SIDED END UNIT
COOPER TOWNHOUSE BUILDING / FRONT ELEVATION

- GENERAL NOTES
- SEE SHEET # FOR REFERENCE WITH OTHER DIMENSIONS
 - CERAMIC HEIGHTS
 - DIMENSIONS ARE MEASURED FACE OF GYPSUM WALL BOARD TO FACE OF GYPSUM WALL BOARD
 - FOR THE PURPOSE OF GRAPHIC CLARITY INTERIOR DOORS ARE NOT INDICATED
 - SEE SITE SURVEY PLAN FOR FINISH FLOOR MSL (MEAN SEA LEVEL ELEVATIONS OF FINISH FLOOR AND ROOF HEIGHTS)

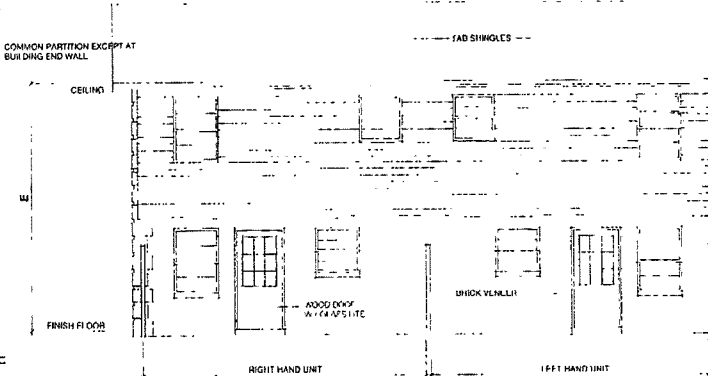
LEFT HAND UNIT	RIGHT HAND UNIT	LEFT HAND UNIT	RIGHT HAND UNIT	LEFT HAND UNIT	RIGHT HAND UNIT	LEFT HAND UNIT	RIGHT HAND UNIT
A	B	C	D	E	F	G	H

KEY PLAN / COOPER TOWNHOUSE BUILDINGS

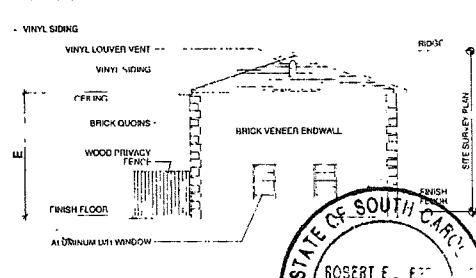
COOPER TOWNHOUSE BUILDINGS 1, 4, 11, 15, AND 18 CONTAIN 4 UNITS
BUILDINGS 3, 5, 9, 10, 12, 13 AND 17 CONTAIN 6 UNITS
BUILDING 6 CONTAINS 8 UNITS



COOPER TOWNHOUSE
TYPICAL UNIT FIRST FLOOR PLAN



COOPER TOWNHOUSE BUILDING / REAR ELEVATION



LEFT SIDE ELEVATION (RIGHT SIDE SIMILAR)

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME INFORMATION SHOWN HEREIN IS ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION AND TO COMPARE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

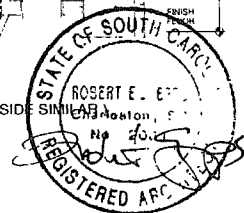
ROBERT E. EPPS / REGISTERED ARCHITECT
S.C. REGISTRATION NO. 2081

CAROLINA COVE
HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

EPPS
EDWARDS
ARCHITECTS

1 PINEKEY STREET
CHARLESTON SOUTH CAROLINA 29401



REVISION # 1 (REVISED JANUARY 3 2005)

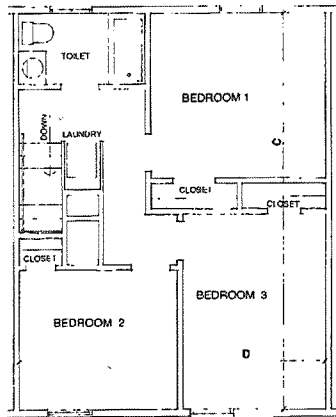
SHEET NO. 2 OF 10 DATE: MAY 4 2004

1/4" = 1'-0"

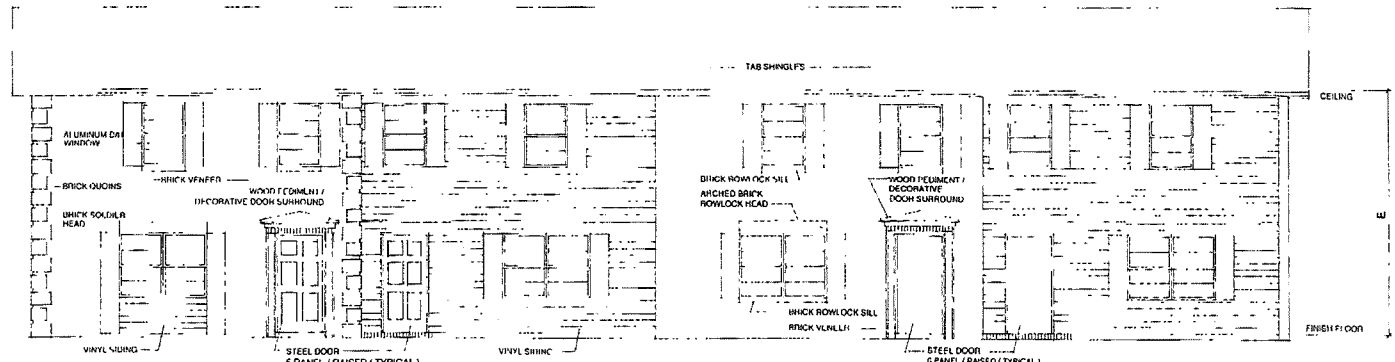
840 S.F. AVERAGE (INTERIOR OF EXTERIOR WALLS AND COMMON WALLS) (SEE GENERAL NOTES)

0 4 8 12 16 20 24 28

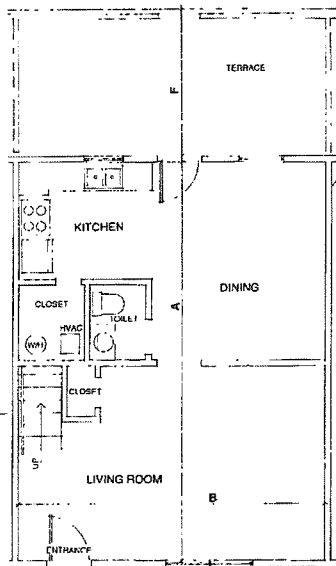
SCALE (FEET)



ASHLEY TOWNHOUSE
TYPICAL UNIT SECOND FLOOR PLAN

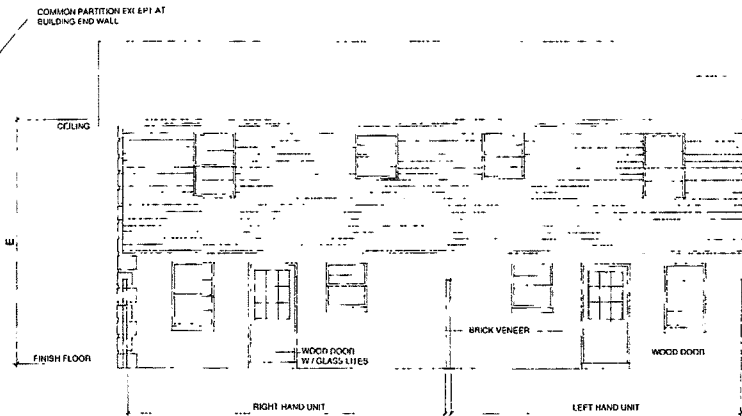


TYPICAL BRICK END UNIT TYPICAL SIDED UNIT TYPICAL BRICK UNIT TYPICAL SIDED END UNIT
ASHLEY TOWNHOUSE BUILDING / FRONT ELEVATION



ASHLEY TOWNHOUSE
TYPICAL UNIT FIRST FLOOR PLAN 1/4" = 1'-0"

RIGHT HAND UNIT
(LEFT HAND UNIT MIRROR IMAGE) 1.133 S.F. AVERAGE (INTERIOR OF EXTERIOR WALLS AND COMMON WALLS) (SEE GENERAL NOTES)



ASHLEY TOWNHOUSE BUILDING / REAR ELEVATION

0 4 8 12 16 20 24 28
SCALE (FEET)

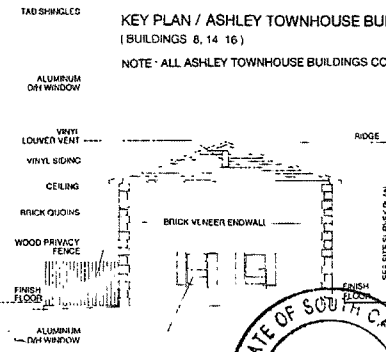
GENERAL NOTES

1. SEE SHEET A FOR REFERENCE INTERIOR DIMENSIONS AND CEILING HEIGHTS.
2. DIMENSIONS ARE MEASURED FACE OF CYPRESS WALLBOARD TO FACE OF CYPRESS WALL BOARD.
3. FOR THE PURPOSE OF GRAPHIC CLARITY INTERIOR DOORS ARE NOT INDICATED.
4. SEE SITE SURVEY PLAN FOR FINISH FLOOR MSL (MEAN SEA LEVEL ELEVATIONS OF FINISH FLOOR AND RIDGE HEIGHTS).

LEFT HAND UNIT	RIGHT HAND UNIT	LEFT HAND UNIT	RIGHT HAND UNIT	LEFT HAND UNIT	RIGHT HAND UNIT
A	B	C	D	E	F

KEY PLAN / ASHLEY TOWNHOUSE BUILDINGS
(BUILDINGS 8, 14, 16)

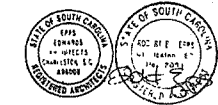
NOTE - ALL ASHLEY TOWNHOUSE BUILDINGS CONTAIN 6 UNITS



LEFT SIDE ELEVATION (RIGHT SIDE SIMILAR)

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME INFORMATION SHOWN HEREIN IS ACCURATE AND THAT THE BEST MEANS AND MEASUREMENTS WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

ROBERT E. EPES / REGISTERED ARCHITECT
S.C. REGISTRATION NO. 7081

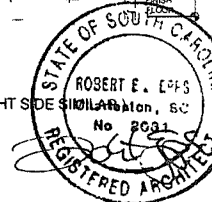


CAROLINA COVE
HORIZONTAL PROPERTY REGIME

15 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

EPES
EDWARDS
ARCHITECTS

1 PINEKNEY STREET
CHARLESTON, SOUTH CAROLINA 29401



REVISION # 1 (REVISED JANUARY 3 2005)

SHEET NO 3 OF 10 DATE MAY 4 2004

CAROLINA COVE GARDEN UNITS / 16 UNITS TOTAL

UNIT / TYPE	INTERIOR FLOOR PLAN DIMENSIONS			CEILING HT	EXTERIOR PATIO
	A	B	C		
2 A/FH	27'1"	50'2"	8'0"		
2 B/FH	27'4"	50'1"	8'0"		
2 C/FH	27'0 1/2"	50'1"	8'0"		
2 D/FH	26-11 1/2"	50'1"	8'0"		
2 E/FH	26-11 1/2"	50'-1"	8'0"		
2 F/FH	27'1"	50'2"	8'0"		
2 G/R	27'1"	50'2"	8'0"		
2 H/FH	27'1 1/2"	50'-2"	7'11 1/2"		
10 A/R	27'2"	50'2"	8'0"		
10 B/H	26'11 1/2"	50'1 1/2"	7'11 1/2"		
11 C/R	27'-2"	50'1 1/2"	7'11 1/2"		
10 D/L	26'11"	50'2"	7'11 1/2"		
10 E/R	26'11"	50'2"	7'11 1/2"		
10 F/R	26'11"	50'2"	7'11 1/2"		
10 G/H	27'2"	50'2"	7'11 1/2"		
10 H/H	27'2"	50'-1 1/2"	7'11 1/2"		
10 I/H	20'11 1/2"	50'-1"	7'11 1/2"		
10 J/H	27'2"	50'2"	7'11 1/2"		

COOPER TOWNHOUSE UNITS / 70 UNITS TOTAL

UNIT / TYPE	INTERIOR FLOOR PLAN DIMENSIONS				CEILING HT	EXTERIOR PATIO
	A	B	C	D		
1 A/FH	23'2 1/2"	18'7 1/2"	23'10"	18'7 1/2"	10'11"	9'11"
1 B/R	22'11"	18'6 1/2"	23'9"	18'7"	10'11"	9'11"
1 C/H	27'-3"	18'7"	23'8 1/2"	18'7"	10'11"	9'11"
1 D/R	22'11"	18'6"	23'9 1/2"	18'6"	10'11"	9'11"
3 A/H	23'1"	18'7"	23'10"	18'7"	10'11"	9'0"
3 B/H	21-6 1/2"	18'7"	23'10"	18'6 1/2"	10'11 1/2"	8'0"
3 C/L	23'6"	18-6 1/2"	23'10 1/2"	18'6"	10'11 1/2"	8'0"
3 D/H	22'11"	18'7"	23'10 1/2"	18'6 1/2"	10'11"	8'11"
3 E/H	23'5"	18'7"	23'8 1/2"	18'7"	10'11"	8'0"
3 F/R	22'11 1/2"	18-8"	23'10"	18'8"	10'0"	8'0"
4 A/L	23'4 1/2"	18'-7"	23'10"	18'6 1/2"	10'11"	8'0"
4 B/R	23'10"	18-8"	23'10 1/2"	18'7 1/2"	10'11"	8'0"
4 C/L	23-3 1/2"	18'7"	23-9 1/2"	18'8"	10'11"	8'0"
4 D/H	22'9 1/2"	18'6 1/2"	23'9 1/2"	18'7"	10'11"	8'0"
5 A/L	23-3"	18'7 1/2"	23-8 1/2"	18-8"	10'11"	8'0"
5 B/R	22'10"	18'5 1/2"	23'10 1/2"	18'7 1/2"	10'11"	8'0"
5 C/L	21-1"	18'7"	23'9"	18-6 1/2"	10'11 1/2"	8'0"
5 D/H	22-4 1/2"	18'6 1/2"	23'9 1/2"	18-5 1/2"	10'11"	8'0"
5 E/H	23-3"	18'8"	23'9 1/2"	18'8"	10'11"	8'0"
5 F/R	22-10"	18'7 1/2"	23'11 1/2"	18-8"	10'11"	8'0"
6 A/H	23'1"	18'7"	23'11"	18'7"	10'11"	9'11"
6 B/R	22-5 1/2"	19'0"	23'11 1/2"	18'7 1/2"	10'11"	9'11"
6 C/H	27'1"	18-8 1/2"	24'0 1/2"	18'7"	10'11"	9'11"
6 D/H	23'3 1/2"	18-6"	24'1"	18'7"	10'11"	9'11"
6 E/H	22'11"	18'7"	24'0"	18'7"	10'11"	9'11"
6 F/H	23'5"	18'7 1/2"	24'0"	18'7 1/2"	10'11 1/2"	9'11"
6 G/L	22'11 1/2"	18-6 1/2"	23'11 1/2"	18'7"	10'11"	9'11"
6 H/R	23'8 1/2"	18'10"	23'11 1/2"	18'7 1/2"	10'11 1/2"	9'11"

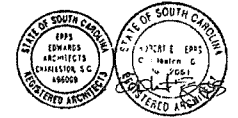
COOPER TOWNHOUSE UNITS (CONTINUED) / 70 UNITS TOTAL

UNIT / TYPE	INTERIOR FLOOR PLAN DIMENSIONS				CEILING HT	EXTERIOR PATIO
	A	B	C	D		
9 A/L	23'4"	18'6 1/2"	23'10 1/2"	18'6 1/2"	10'11"	8'0"
9 B/R	22'11"	18'5"	23'10"	18'7"	10'11"	8'0"
9 C/L	23'4 1/2"	18'4 1/2"	23'8 1/2"	18'6 1/2"	10'11"	8'0"
9 D/R	22'11 1/2"	18'5 1/2"	23'11"	18'7 1/2"	10'11"	8'0"
9 E/L	24'4"	18'4 1/2"	23'10 1/2"	18'7 1/2"	10'11"	8'0"
9 F/H	22-11 1/2"	18'7 1/2"	23'10"	18'4"	10'11"	8'0"
10 A/L	23-3"	18'7 1/2"	23'8 1/2"	18-7 1/2"	10'11"	8'0"
10 B/H	22-11"	18'6"	23'8"	18'6 1/2"	10'11"	8'0"
10 C/L	23'5"	18-6 1/2"	23'9"	18'7"	10'11"	8'0"
10 D/H	22'10"	18'6"	23'9"	18'7"	10'11"	8'0"
10 E/L	23'3"	18-6 1/2"	23-9 1/2"	18'6"	10'11"	8'0"
10 F/R	22'11 1/2"	18'7 1/2"	23'10"	18'7 1/2"	10'11"	8'0"
11 A/H	23'3"	18'8 1/2"	23'9"	18'7 1/2"	10'11"	8'0"
11 B/R	22'11"	18-7"	23-8 1/2"	18'7"	10'11 1/2"	8'0"
11 C/L	23'0"	18'7"	23-8 1/2"	18'7"	10'11"	8'0"
11 D/H	22'11"	18'6 1/2"	23'8"	18'5"	10'11"	8'0"
12 A/H	23'2 1/2"	18'7"	23'8"	18'7 1/2"	10'11"	8'0"
12 B/R	22'10"	18'7 1/2"	23'8"	18'7"	10'11"	8'0"
12 C/H	23'2 1/2"	18-6"	23'9"	18'6 1/2"	10'11"	8'0"
12 D/R	22'10 1/2"	18'7"	23'8 1/2"	18'7"	10'11"	8'0"
12 E/H	23'3 1/2"	18'6 1/2"	23'9"	18'7 1/2"	10'11 1/2"	8'0"
12 F/H	22'11"	18'7"	23-8"	18'7"	10'11"	8'0"
13 A/L	23-4"	18'6 1/2"	23'10"	18'7 1/2"	10'11"	8'0"
13 B/H	22-9 1/2"	18'8"	23'10 1/2"	18'8"	10'11"	8'0"
13 C/L	23'4"	18'7"	23'10"	18-6 1/2"	10'11"	8'0"
13 D/R	22'10 1/2"	18-8"	23'10 1/2"	18-8 1/2"	10'11"	8'0"
13 E/L	23'3 1/2"	18-5 1/2"	23'11"	18'6 1/2"	10'11"	8'0"
13 F/R	22'10 1/2"	18'8"	23'10"	18'8"	10'11"	8'0"
15 A/L	23'4"	18'7"	23'10"	18'8"	10'10"	8'1"
15 B/R	23'1"	18'5 1/2"	23'7 1/2"	18'7 1/2"	10'11"	8'1"
15 C/L	23'5"	18'7 1/2"	23'9 1/2"	18'6"	10'11"	8'1"
15 D/R	23'1"	18'7 1/2"	23'10"	18'8"	10'11"	8'1"
17 A/H	24'10"	18'0 1/2"	24'2"	18'7"	10'11"	7'10"
17 B/H	23-10"	18'6"	24'8"	18'7"	10'11"	7'10"
17 C/L	24-2 1/2"	18'6 1/2"	24'3 1/2"	18'6"	10'11"	7'10"
17 D/H	23'9"	18'7"	24'3 1/2"	18'7"	10'11"	7'10"
17 E/H	24'8 1/2"	18'7"	24-3 1/2"	18-7"	10'11 1/2"	7'10"
17 F/R	23'3"	18'7"	24'0"	18'7"	10'11"	7'10"
18 A/L	23'7 1/2"	18-6 1/2"	24'1 1/2"	18'6 1/2"	10'11"	7'11"
18 B/R	22'1 1/2"	18-6 1/2"	23-2 1/2"	18'6 1/2"	10'11"	7'11"
18 C/H	23-8 1/2"	18'7 1/2"	24'1 1/2"	18'7"	10'11"	7'11"
18 D/R	21'4 1/2"	18'7"	24'1 1/2"	18'6 1/2"	10'11"	7'11"

ASHLEY TOWNHOUSE UNITS / 16 UNITS TOTAL

UNIT / TYPE	INTERIOR FLOOR PLAN DIMENSIONS				CEILING HT	EXTERIOR PATIO
	A	B	C	D		
11 A/L	27'4"	20'9 1/2"	24'10"	20'10 1/2"	10'11"	10'0"
9 B/R	26'10"	21'7"	27'10"	20'11"	10'11"	10'0"
8 C/L	27'10 1/2"	20'7 1/2"	27-9 1/2"	20'7 1/2"	10'11"	10'0"
11 D/R	26'10"	20'11"	27-9 1/2"	20'11"	10'11"	10'0"
8 E/L	27'3"	21'11"	27'9 1/2"	20'8 1/2"	10'11"	10'0"
8 F/R	26'10"	20'10 1/2"	27-5"	20'11"	10'11"	10'0"
14 A/H	27'1"	20'11 1/2"	27'7 1/2"	21'0 1/2"	10'11"	10'2"
14 B/R	26-9 1/2"	20'8 1/2"	27'7 1/2"	20'11 1/2"	10'11"	10'2"
14 C/L	27'1 1/2"	21'7"	27'7"	20'11"	10'11"	10'2"
14 D/R	26'9"	20-9"	27'7 1/2"	20'10 1/2"	10'11"	10'2"
14 E/L	27-2"	21'0"	27'8"	21'0"	10'11"	10'-2"
14 F/R	26-9 1/2"	20'9"	27'8"	20'8"	10'11"	10'-2"
16 A/L	27'4"	20'11 1/2"	27-2"	21'0 1/2"	10'11"	8'0"
16 B/R	26-10 1/2"	20'10"	27-4"	20'11 1/2"	10'11"	8'0"
16 C/L	27'3 1/2"	20'0 1/2"	27'10"	20'9"	10'11 1/2"	8'0"
16 D/R	26'10 1/2"	20'0 1/2"	27'10 1/2"	20'11"	10'11"	8'0"
16 E/L	27'4"	20'11 1/2"	27'10 1/2"	20'10 1/2"	10'11"	8'0"
16 F/R	26'11"	21'0"	27'11"	21'0"	10'11"	8'0"

I HEREBY JURY TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE ABOVE INFORMATION IS ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION HEREIN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE.
 ROBERT E. EPFS / REGISTERED ARCHITECT
 S.C. REGISTRATION NO. 2051



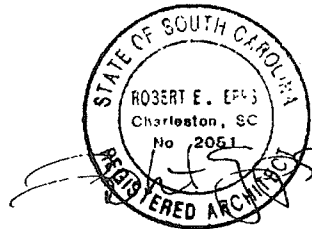
CAROLINA COVE HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
 CITY OF CHARLESTON
 CHARLESTON COUNTY
 SOUTH CAROLINA 29414

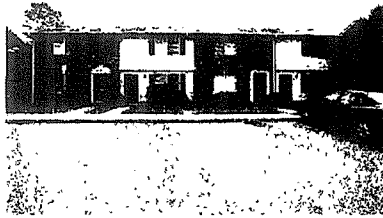
EPFS
 EDWARDS
 ARCHITECTS

1 PINEWHEY STREET
 CHARLESTON, SOUTH CAROLINA 29401

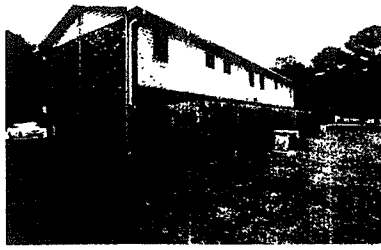
SHEET NO 4 OF 10 DATE: MAY 4 2004



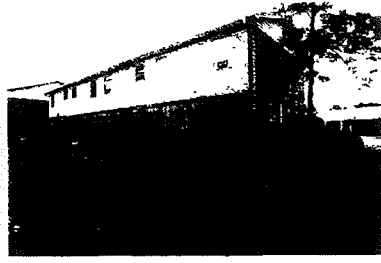
REVISION #1 (REVISED JANUARY 3 2005)



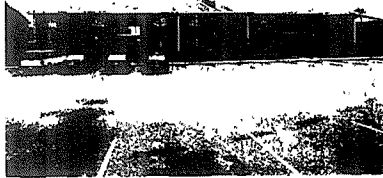
BUILDING 1 (COOPER TOWNHOUSE UNITS) FRONT



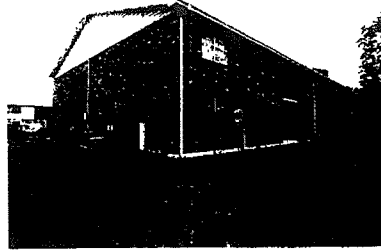
HIGH SIDE / REAR



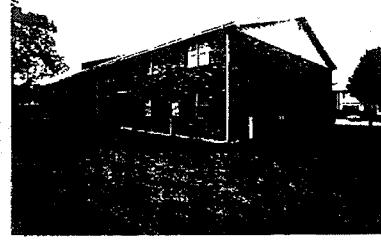
REAR / LEFT SIDE



BUILDING 2 (CATALINA COVE GAROFN UNITS) FRONT



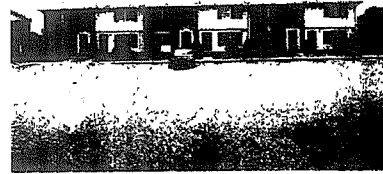
RIGHT SIDE / REAR



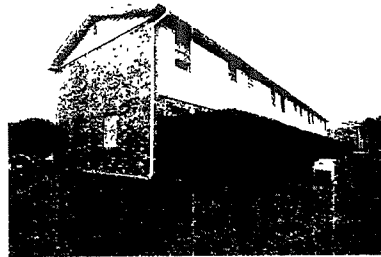
REAR / LEFT SIDE



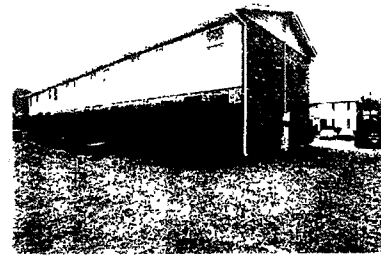
BRICKWAY



BUILDING 3 (COOPER TOWNHOUSE UNITS) FRONT



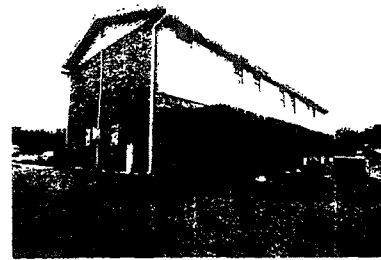
RIGHT SIDE / REAR



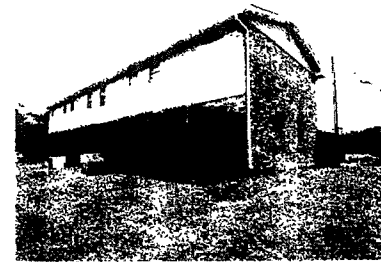
REAR / LEFT SIDE



BUILDING 4 (COOPER TOWNHOUSE UNITS) FRONT



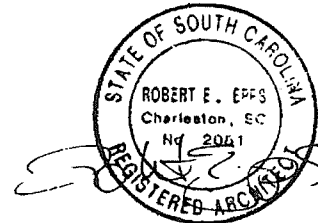
RIGHT SIDE / REAR



REAR / LEFT SIDE

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME INFORMATION SHOWN HEREIN IS ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

ROBERT E. EPES / ARCHITECTS ARCHITECT
S.C. REGISTRATION NO. 2001



CAROLINA COVE
HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

R.E. EPES
EDWARDS
ARCHITECTS

1 KINGOLLY STREET
CHARLESTON SOUTH CAROLINA 29401

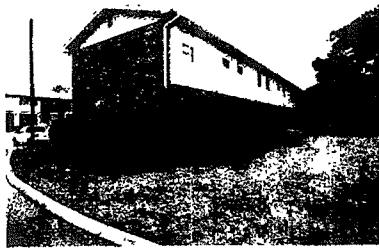
REVISION # 1 (REVISED JANUARY 3 2005)

SHEET NO 5 OF 10 DATE MAY 4 2004

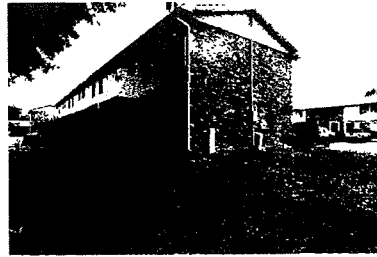


BUILDING 5 (COOPER TOWNHOUSE UNITS)

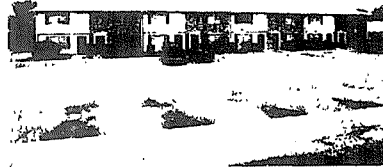
FRONT



RIGHT SIDE / REAR

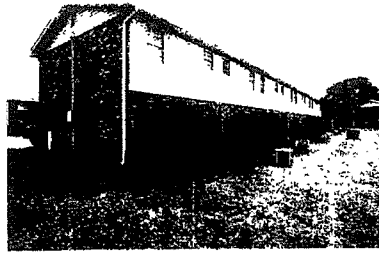


REAR / LEFT SIDE

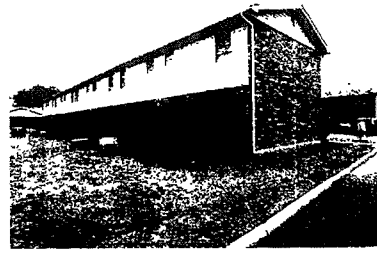


BUILDING 6 (COOPER TOWNHOUSE UNITS)

FRONT



RIGHT SIDE / REAR

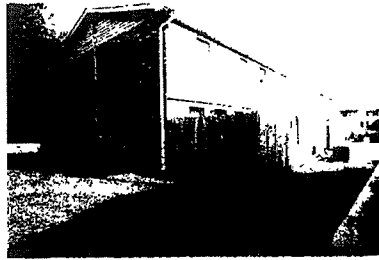


REAR / LEFT SIDE



BUILDING 8 (ASHLEY TOWNHOUSE UNITS)

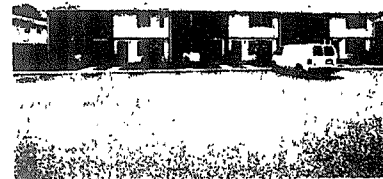
FRONT



RIGHT SIDE / REAR



REAR / LEFT SIDE

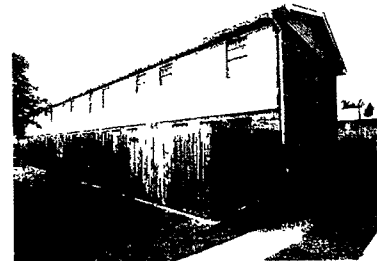


BUILDING 9 (COOPER TOWNHOUSE UNITS)

FRONT

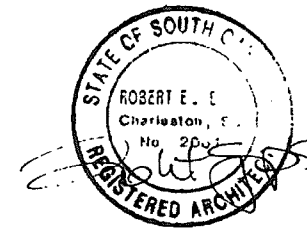


RIGHT SIDE / REAR



REAR / LEFT SIDE

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME DESCRIBED IN THE INSTRUMENT REFERENCED HEREIN IS AN ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE.
ROBERT E. EPPS / REGISTERED ARCHITECT
S.C. REGISTRATION NO. 2081



CAROLINA COVE
HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

FPFS
EDWARDS
ARCHITECTS

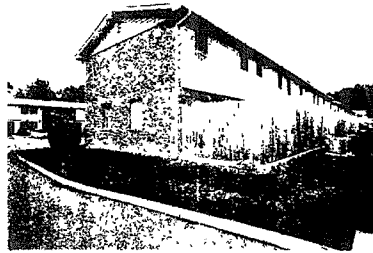
1 PRICKNEY STREET
CHARLESTON SOUTH CAROLINA 29401

REVISION # 1 (REVISED JANUARY 3 2005)

SHEET NO 6 OF 10 DATE MAY 4 2004



BUILDING 10 (COOPER TOWNHOUSE UNITS) FRONT



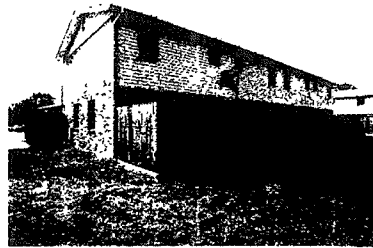
RIGHT SIDE / REAR



REAR / LEFT SIDE



BUILDING 11 (COOPER TOWNHOUSE UNITS) FRONT



RIGHT SIDE / REAR



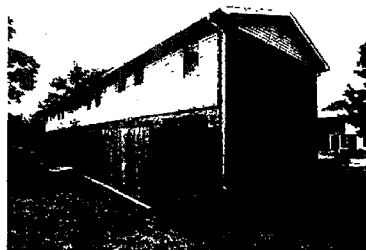
REAR / LEFT SIDE



BUILDING 12 (COOPER TOWNHOUSE UNITS) FRONT



RIGHT SIDE / REAR



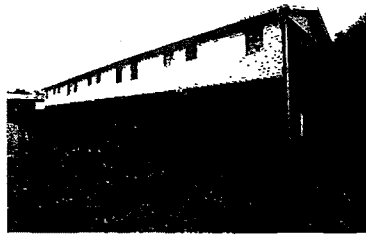
REAR / LEFT SIDE



BUILDING 13 (COOPER TOWNHOUSE UNITS) FRONT

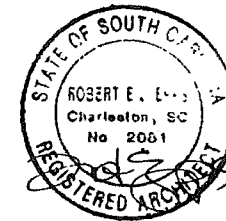


RIGHT SIDE / REAR



REAR / LEFT SIDE

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME INFORMATION SHOWN HEREIN IS ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE.
ROBERT E. EPPS REGISTERED ARCHITECT
S.C. REGISTRATION NO. 2061



CAROLINA COVE
HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

EPPS
EDWARDS
ARCHITECTS

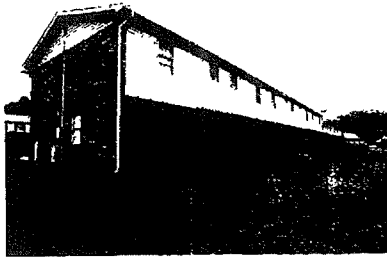
1 WINCHEY STREET
CHARLESTON, SOUTH CAROLINA 29401

REVISION # 1 (REVISED JANUARY 3 2005)

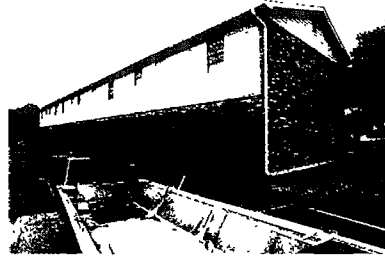
SHEET NO 7 OF 10 DATE MAY 4, 2004



BUILDING 14 (ASHLEY TOWNHOUSE UNITS) FRONT



RIGHT SIDE / REAR



REAR / LEFT SIDE



BUILDING 15 (COOPER TOWNHOUSE UNITS) FRONT



RIGHT SIDE



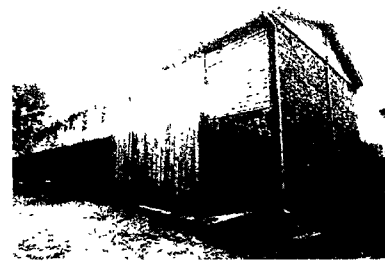
REAR / LEFT SIDE



BUILDING 16 (ASHLEY TOWNHOUSE UNITS) FRONT



RIGHT SIDE / REAR



REAR / LEFT SIDE



BUILDING 17 (COOPER TOWNHOUSE UNITS) FRONT



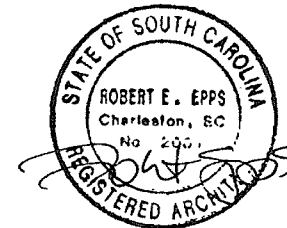
RIGHT SIDE / REAR



REAR / LEFT SIDE

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE INFORMATION AND BELIEF THE HORIZONTAL PROPERTY REGIME INFORMATION SHOWN IS RELIANT, ACCURATE AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

ROBERT E. EPPS / REGISTERED ARCHITECT
S.C. REGISTRATION # 17981



CAROLINA COVE
HORIZONTAL PROPERTY REGIME

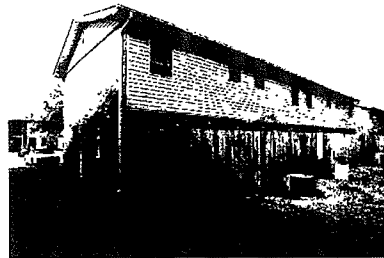
415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

EPPS
EDWARDS
ARCHITECTS

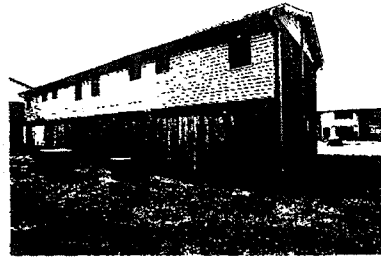
1 PINKNEY STREET
CHARLESTON SOUTH CAROLINA 29401



BUILDING 18 (COOPER TOWNHOUSE UNITS) FRONT



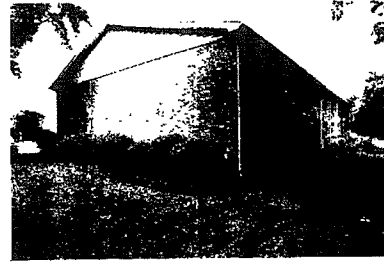
RIGHT SIDE / REAR



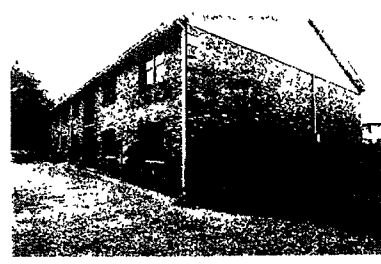
REAR / LEFT SIDE



BUILDING 19 (CAROLINA COVE GARDEN UNITS) FRONT



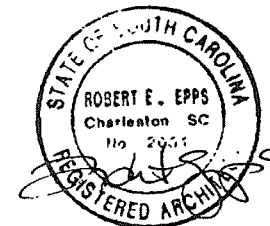
RIGHT SIDE / REAR



REAR / LEFT SIDE

I HEREBY STATE THAT THE INFORMATION SHOWN HEREIN IS ACCURATE AND THAT THE BEST MEANS AND MEANS AVAILABLE WERE USED TO OBTAIN THE INFORMATION IN ACCORDANCE WITH SOUTH CAROLINA LAWS GOVERNING THE PRACTICE OF ARCHITECTURE

ROBERT E. EPPS / REGISTERED ARCHITECT
S.C. REGISTRATION NO. 2081



CAROLINA COVE
HORIZONTAL PROPERTY REGIME

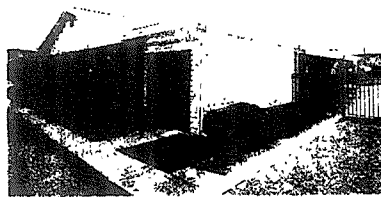
415 PARKDALE DRIVE
CITY OF CHARLESTON
CHARLESTON COUNTY
SOUTH CAROLINA 29414

EPPS
EDWARDS
ARCHITECTS

1 PARKWAY 5 HILL
CHARLESTON SOUTH CAROLINA 29401



CLUBHOUSE / OFFICE BUILDING FRONT



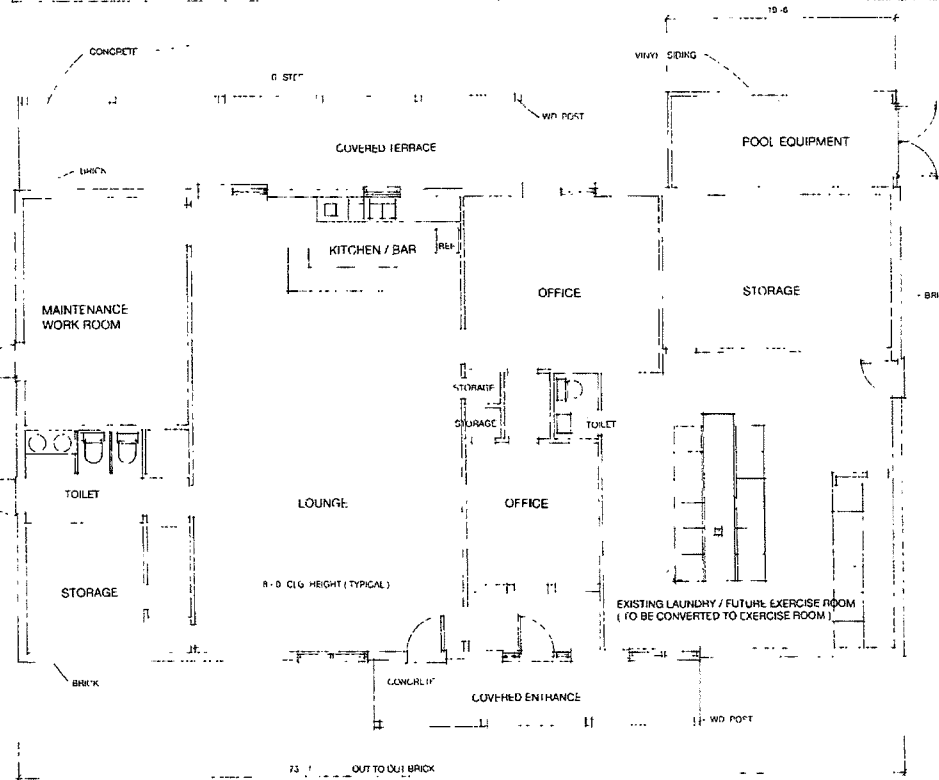
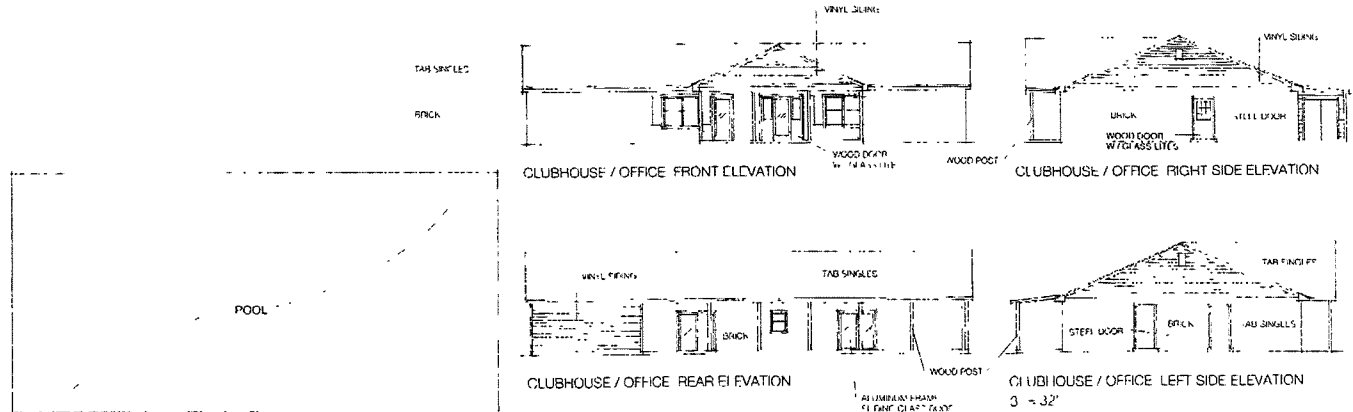
CLUBHOUSE / OFFICE BUILDING RIGHT SIDE / REAR



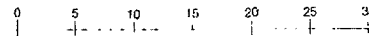
CLUBHOUSE / OFFICE BUILDING REAR



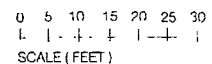
CLUBHOUSE / OFFICE BUILDING LEFT SIDE



CLUBHOUSE / OFFICE FLOOR PLAN 3/16 - 1-0

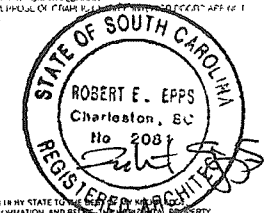


3161 S F
(EXTERIOR GRASS SQUARE FOOTAGE ENCLOSED SPACE)



SCALE (FEET)

GENERAL NOTES
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED TO FACE OF GYPSUM WALL BOARD TO FACE OF GYPSUM WALL BOARD.
 2. FINISH FLOOR TO FINISH OF CEILING UNLESS OTHERWISE NOTED.
 3. FINISH GRADE UNLESS OTHERWISE NOTED.



I, THE STATE ENGINEER, HEREBY CERTIFY THAT THE INFORMATION SHOWN ON THIS DRAWING WAS PREPARED AND THAT THE BEST MEANS AND METHODS AVAILABLE WERE USED TO OBTAIN THE INFORMATION REQUIRED HEREON IN ACCORDANCE WITH THE PRACTICE OF ARCHITECTURE IN THE STATE OF SOUTH CAROLINA.
 ROBERT E. EPPS / REGISTERED ARCHITECT
 S.C. REGISTRATION NO. 2081



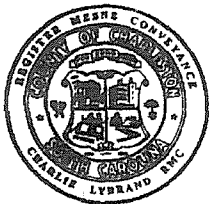
CAROLINA COVE
 HORIZONTAL PROPERTY REGIME

415 PARKDALE DRIVE
 CITY OF CHARLESTON
 CHARLESTON COUNTY
 SOUTH CAROLINA 29414

EPPS
 EDWARDS
 ARCHITECTS

1 PINEKEY STREET
 CHARLESTON SOUTH CAROLINA 29401

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State Fee _____
County Fee _____
Postage EXEMPT
TOTAL 20.00

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2005 FEB 22 AM 10:01

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CHARLESTON COUNTY SC

PID VERIFIED BY ASSESSOR
REP [Signature]
DATE 3/8/05

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PEGGY A. MOSELEY
CHARLESTON COUNTY CLERK